

Annexure 14

STRUCTURAL DESIGN REQUIREMENTS



Robert
Bird
Group

Tenant Structural Design Guidelines

Chadstone Shopping Centre - The Market Pavilion

Issue: A - Draft

16 August 2022

Prepared For: Vicinity Centre PM Pty Ltd

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Report Amendment Register

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APPENDICES

Appendix A Allowable Design Loads Plan

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1 Introduction

This document serves as a structural engineering guideline to Tenants in relation to tenancy structural related works. All Tenants are to adhere to the requirements and approval processes as outlined in the attached guidelines.

It is the Tenants responsibility to engage a qualified Structural Engineer to undertake structural engineering drawings and computations and engineering drawings for tenancy structural related works including shopfronts, signs, ceilings, bulkheads, glazing and the like.

2 Core Holes & Penetration

2.1 General Requirements

A number of different types of suspended slabs exist throughout the Shopping Centre. In general, these include the following:

- a) Post tensioned slabs.
- b) Condeck slabs supported on either steel beams or block/reinforced concrete walls.
- c) Two-way slabs.

Any penetration shall be approved in writing by the Landlord's Structural Engineer.

The Tenant shall seek approval from the Landlord's Structural Engineer via the Landlord's Tenancy Project Manager prior to coring or larger penetration works.

All coring/penetration and associated works, including structural engineering fees, shall be undertaken at the Tenant's cost. We note that slab scanning is required prior to coring to ensure that core holes are located clear of existing beams, post tensioned cables, services, etc.

2.2 Electrical Floor Outlet Boxes

Subject to the conditions as stipulated in Section 2.1 above, it shall be acceptable to increase the allowable core hole diameter to 115mm to suit the GESRM2 Series floor outlet.

2.3 Door Pivots

Allowable floor recesses for pivot doors shall comply with the core hole requirements in Section 2.1 above. Where this is not achievable, pivot doors shall be hung/supported by structure above.

3 Floor Chasing Requirements

3.1 Suspended Slabs

Unless otherwise approved in writing by the Landlord's Structural Engineer, floor chasing shall strictly not be permitted within suspended slabs.

Remedial works costs, including consulting engineering fees, associated with any floor chases that have not been approved structurally, shall be the responsibility of the Tenant.



4 Allowable Floor Loads

4.1 Superimposed Dead Loads

Allowable floor superimposed dead loads vary throughout the Shopping Centre due to the different stages and types of construction over the years. As a result, a structural engineering assessment will be required by the Landlord's Structural Engineer where the Tenant proposes work involving additional superimposed dead loads on the floor, such as screeds and topping slabs. The Tenant shall be responsible for all associated consulting engineering costs.

RBG note that the following loads relate to new Fresh Food development zones only loading of existing Retail Zones should allow for a maximum SDL of 2.3 kPa.

Design slab superimposed floor dead loads are shown in Appendix A. Note that the design loads/weights provided include floor finishes, screeds, topping slabs, partitions, ceilings and the like.

Indicative superimposed floor dead loads/weights for a range of raised floor types are shown in Appendix A. Note that the floor type weights do not include an allowance for ceilings, partitions and existing screeds/topping slabs. As a result, if these exist, the associated weights will need to be added to the floor weights as specified. In general, we forewarn that existing screeds and topping slabs will need to be removed prior to the addition of any raised floors.

4.2 Live Loads

Design live loads for the tenancies affected by the Fresh Food development are shown in Appendix A.

All costs associated with floor loading structural assessments, including consulting engineering, back propping, floor stiffening, etc., shall be the responsibility of the Tenant.

5 Fixing Requirements to Slabs & Steelwork

5.1 Slabs

Allowable fixings to slabs shall vary depending on the composition of the slab. Refer Appendix A for slab/floor types. RBG note that new floors for the Fresh Food development are generally PT banded concrete slabs.

In general, it shall be acceptable to fix to existing concrete slabs subject to the following conditions:-

- a) Approval is obtained by the Landlord's Structural Engineer prior to commencement. The Tenant's Structural Engineer shall provide fixing loads to the Landlord for assessment by the Landlord's Structural Engineer.
- b) Fixings are to be located clear of existing slab/beam post tensioned cables and any services, or similar items, that may be cast within the slabs. As a result, slab scanning is required prior to fixing into suspended concrete slabs.
- c) Subject to 'a)' above, fixings shall be permitted in slabs provided that there is 50mm minimum clear cover from the end of the fixing.

All costs associated with the structural assessment by the Landlord's Structural

Engineer shall be the responsibility of the Tenant.

5.2 Steel

A structural assessment is required by the Landlord's Structural Engineer for all tenancy related fixings to steelwork. Approval shall be obtained by the Landlord's Structural Engineer prior to commencement. The Tenant's Structural Engineer shall provide all fixing loads on the steelwork for assessment by the Landlord's Structural Engineer.

All costs associated with the structural assessment by the Landlord's Structural Engineer shall be the responsibility of the Tenant.

6 Shopfronts, Bulkheads & Signage

The structural engineering design of the tenancy shopfront, bulkheads, signage and glazing is the responsibility of the Tenant's Structural Engineer.

Form 126 design certification including calculations and structural engineering drawings shall be issued to the Landlord's TDM and RDM for approval prior to commencement of construction. Design loads on the existing structure shall also be issued to the Landlord's Structural Engineer to enable verification of the existing structure to support the proposed tenancy loads. The Landlord's Structural Engineer shall be responsible for checking the existing structure, except for the existing roof structure, for the proposed tenancy works. The Tenant's Structural Engineer shall be responsible for checking the existing roof structure, where applicable, for the proposed tenancy loads.

The design of the tenancy structural components shall take into consideration movement joints in the existing structure when present. All costs associated with the structural design and certification of the tenancy structural works (e.g. shopfront, bulkhead, glazing, signage, etc.), including existing structural design checks by the Landlord's Structural Engineer, shall be the responsibility of the Tenant.

Any stiffening works or modifications resulting from the Landlord's existing structural check shall also be the responsibility of the Tenant.

No alterations shall be made to the existing structure without written authorization from the Landlord's Structural Engineer.

7 Mezzanine Floors

In general, allowances have not been made for mezzanine floors in individual tenancies throughout the Shopping Centre.

Where mezzanine floors are proposed for a particular tenancy, structural engineering drawings, calculations (including reactions on the existing structure) shall be issued to the Landlord's Project Manager for review/approval by the Landlord's Structural Engineer prior to commencement.

All costs associated with the structural engineering check by the Landlord's Structural Engineer shall be the responsibility of the Tenant, including any stiffening works.

Where mezzanine floors are deemed acceptable by the Landlord's Structural Engineer, as a minimum they shall comply with the following constraints:-

- a) Timber floors and stairs.
- b) Lightweight stud walls.



- c) The mezzanine floor structure is to be designed and certified (Form 126) by the Tenant's Structural Engineer.
- d) The Tenant is responsible for maintaining the fire rating integrity where the mezzanine structure connects to the main structure.
- e) Subject to a structural engineering check, the mezzanine floor is to be supported on existing columns or new columns located over existing columns under. Mezzanine support columns are not to be supported on suspended slabs or beams.

All mezzanine floor costs, including the Landlord's Structural Engineering fees, shall be the responsibility of the Tenant.

8 Screeds & Built Up Floors

All screeds and built up floors shall be approved by the Landlord's Structural Engineer, prior to construction.

In general, it is recommended that all built up floors be constructed using timber framing and flooring. Concrete screeds shall be subject to approval by the Landlord's Structural Engineer.

Refer Section '5.1' of this report for allowable floor superimposed dead loads.

Existing floor joints shall be matched in the screeds, built up floors and floor finishes.

All costs associated with screeds and built up floors, including the Landlord's Structural Engineering fees, shall be the responsibility of the Tenant.

Note: Subject to a structural engineering check, no grinding on Landlord's slab is permitted.

9 Inter-Tenancy Walls

As a minimum, the following inter-tenancy wall guidelines shall be strictly adhered to:-

- a) Tenants are not permitted to apply any loading to partition walls.
- b) Cantilever shelving systems are not permitted to be fixed to inter-tenancy walls. The Tenant's Structural Engineer is responsible for designing support structures for shelving which is to be independent to inter-tenancy walls. Reactions onto the existing structure shall be submitted to the Landlord's Structural Engineer for assessment prior to commencement. The Landlord's structural engineering fees shall be the responsibility of the Tenant.
- c) Tenants are not permitted to make structural alterations to any inter-tenancy walls without written approval from the Landlord's RDM and TDM.
- d) Fixings to inter-tenancy walls shall be approved by the Landlord's Tenancy Project Manager.
- e) Where applicable, fire rating of inter-tenancy walls shall be maintained. Any damage to existing fire rated inter-tenancy walls, including fire spray and sealants, shall be made good by the Tenant to the satisfaction of the Landlord's Tenancy Project Manager. All associated costs shall be the responsibility of the Tenant.
- f) Where smoke walls exist, they shall not be penetrated or altered without approval from the Landlord's Tenancy Project Manager.



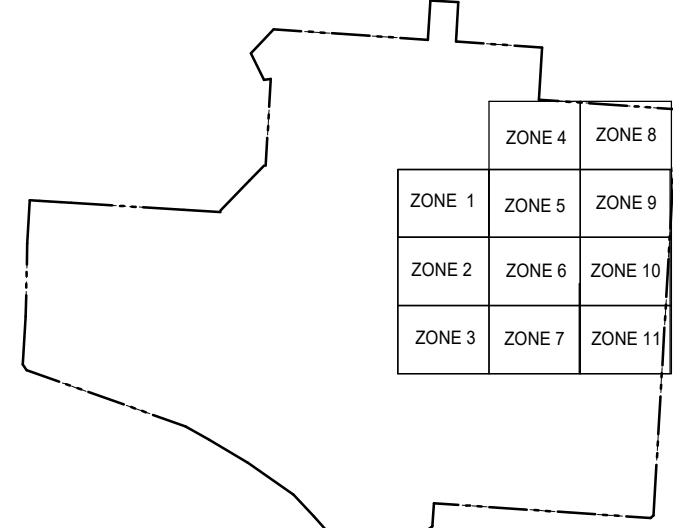
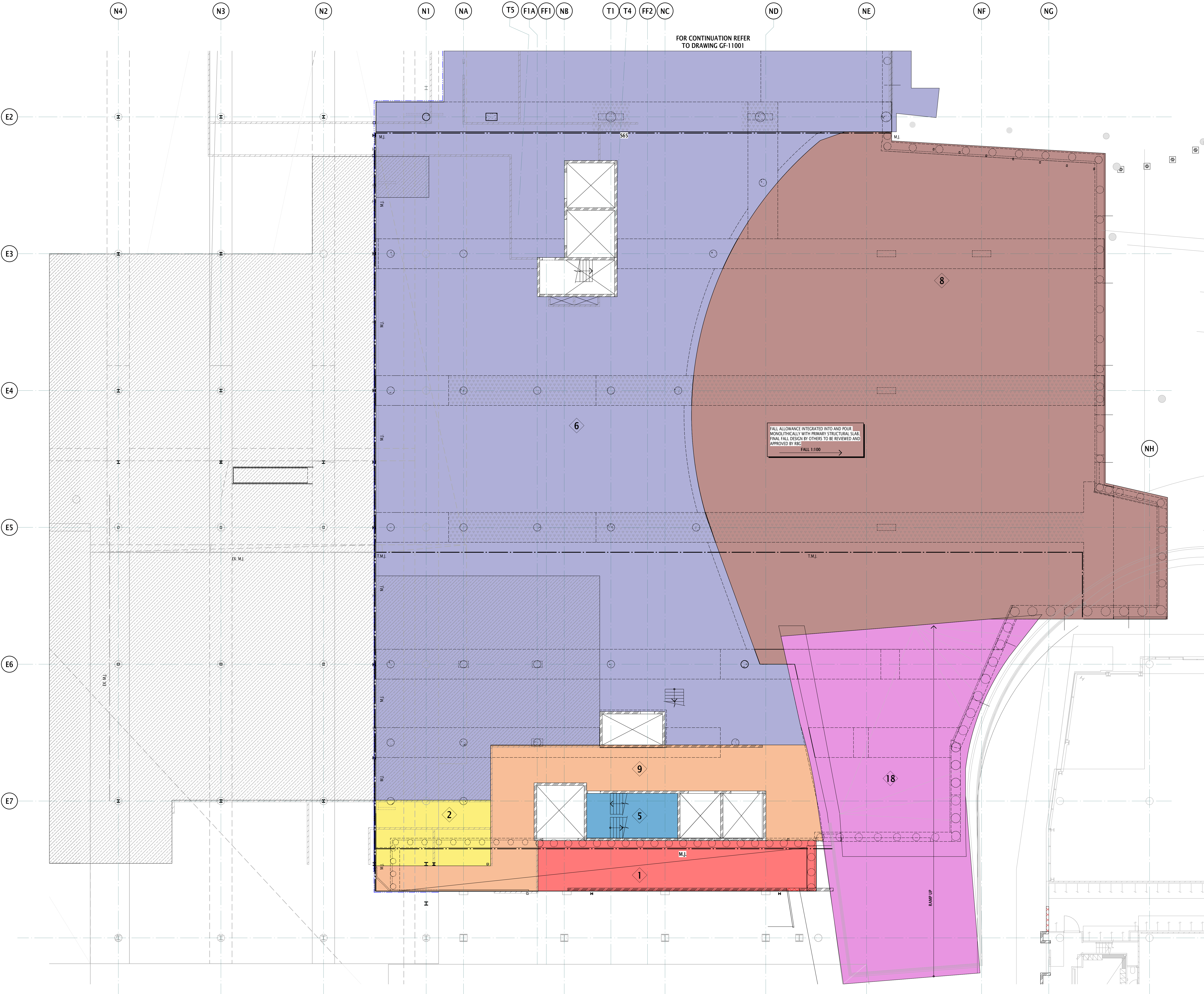
APPENDICES

Appendix A Allowable Design Loads Plan

Appendix A Allowable Design Loads Plan

A1 – The Market Pavilion development loading plans

A2 – Existing centre structure types ground level



OVERALL KEY PLAN

DRAWING REFERENCES

REFER DRAWING SERIES 00 FOR GENERAL NOTES & TYP DETAILS
REFER DRAWING SERIES 01 FOR BULK EARTHWORKS & RETENTION
REFER DRAWING SERIES 02 FOR PILING
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REFER DRAWING SERIES 12 FOR STEELWORK LAYOUT PLANS
REFER DRAWING SERIES 13 FOR STEELWORK ELEVATIONS

LOADING LEGEND:

- 1 DENOTES: ALDI TENANCY
LL 10.0 kPa
SDL 2.5 kPa
- 2 DENOTES: STORAGE/PLANT
LL 5.0 kPa
SDL 1.5 kPa
- 3 DENOTES: LOADING DOCK-UPPER LEVEL
LL 5.0 kPa
SDL 0.5 kPa
- 4 DENOTES: ALDI TENANCY WITH SECONDARY SLAB
LL 10.0 kPa
SDL 2.0 kPa
- 5 DENOTES: FIRE STAIRS
LL 4.0 kPa
SDL 0.5 kPa
- 6 DENOTES: RETAIL MALLS/RETAIL TENANCIES/MULTI CATEGORY SPACE
LL 5.0 kPa
SDL 2.5 kPa
- 7 DENOTES: LOADING DOCK-LOWER LEVEL WITH SECONDARY SLAB
LL 15.0 kPa
SDL 5.0 kPa
- 8 DENOTES: GROUND LEVEL ROUNDABOUT & OFFICE DROP-OFF
LL 24.0 kPa
SDL 5.0 kPa
- 9 DENOTES: INDOOR CHILDCARE/OFFICE SPACE
LL 3.0 kPa
SDL 1.5 kPa
- 10 DENOTES: CHILDCARE OUTDOOR
LL 4.0 kPa
SDL 4.0 kPa
- 11 DENOTES: LOADING DOCK - LOWER LEVEL
LL 15.0 kPa
SDL 0.5 kPa
- 12 DENOTES: COMMUNAL TERRACE
LL 4.0 kPa
SDL 2.0 kPa
- 13 DENOTES: LIGHTWEIGHT ROOF
LL 0.25 kPa
SDL 0.4 kPa
- 14 DENOTES: BOH CORRIDOR
LL 4.0 kPa
SDL 1.5 kPa
- 15 DENOTES: LOADING DOCK COMPACTOR
LL 5.0 kPa
SDL 0.5 kPa
- 16 DENOTES: DEEP LANDSCAPE ALLOWANCE 1000D SOIL OVER 3.6sqm
LL NIL kPa
SDL 22.0 kPa
- 17 DENOTES: MEDIUM DEPTH PLANTER ALLOWANCE 500D
SOIL OVER 1.8m WIDE MAX
LL NIL kPa
SDL 14.0 kPa
- 18 DENOTES: CAR PARK ENTRY RAMP
LL 5.5 kPa
SDL 2.5 kPa
- 19 DENOTES: PLATFORM 1
LL 2.5 kPa
SDL 0.5 kPa
- 20 DENOTES: PLATFORM 2
LL 4.5 kPa (3000x3600 PLANT)
2.5 kPa ELSEWHERE
SDL 0.5 kPa
- 21 DENOTES: PRECAST CORE LID
LL 2.0 kPa
SDL 2.0 kPa

- DENOTES: FACADE LOAD kN/m
- DENOTES: DIRECTION OF FORCE
- DENOTES: POINT LOAD

- (T) DENOTES: TENSION
- (C) DENOTES: COMPRESSION
- (F) DENOTES: LATERAL LOAD ACTING IN PLANE
- (F) OF SLAB DUE TO DEAD LOAD EFFECTS
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- (G) DENOTES: VERTICAL LOAD DUE TO DEAD LOAD EFFECTS
- (Q) DENOTES: VERTICAL LOAD DUE TO LIVE LOAD EFFECTS

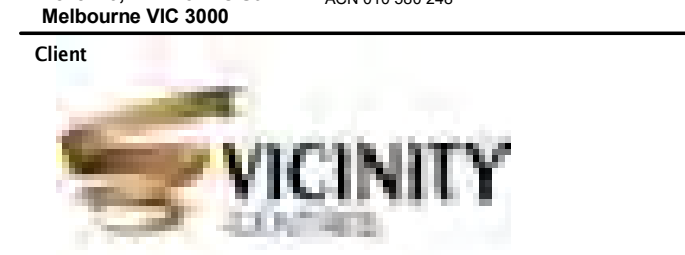
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Project
CHADSTONE FRESH FOOD

Title
GROUND LEVEL
LOADING PLAN
ZONE 6

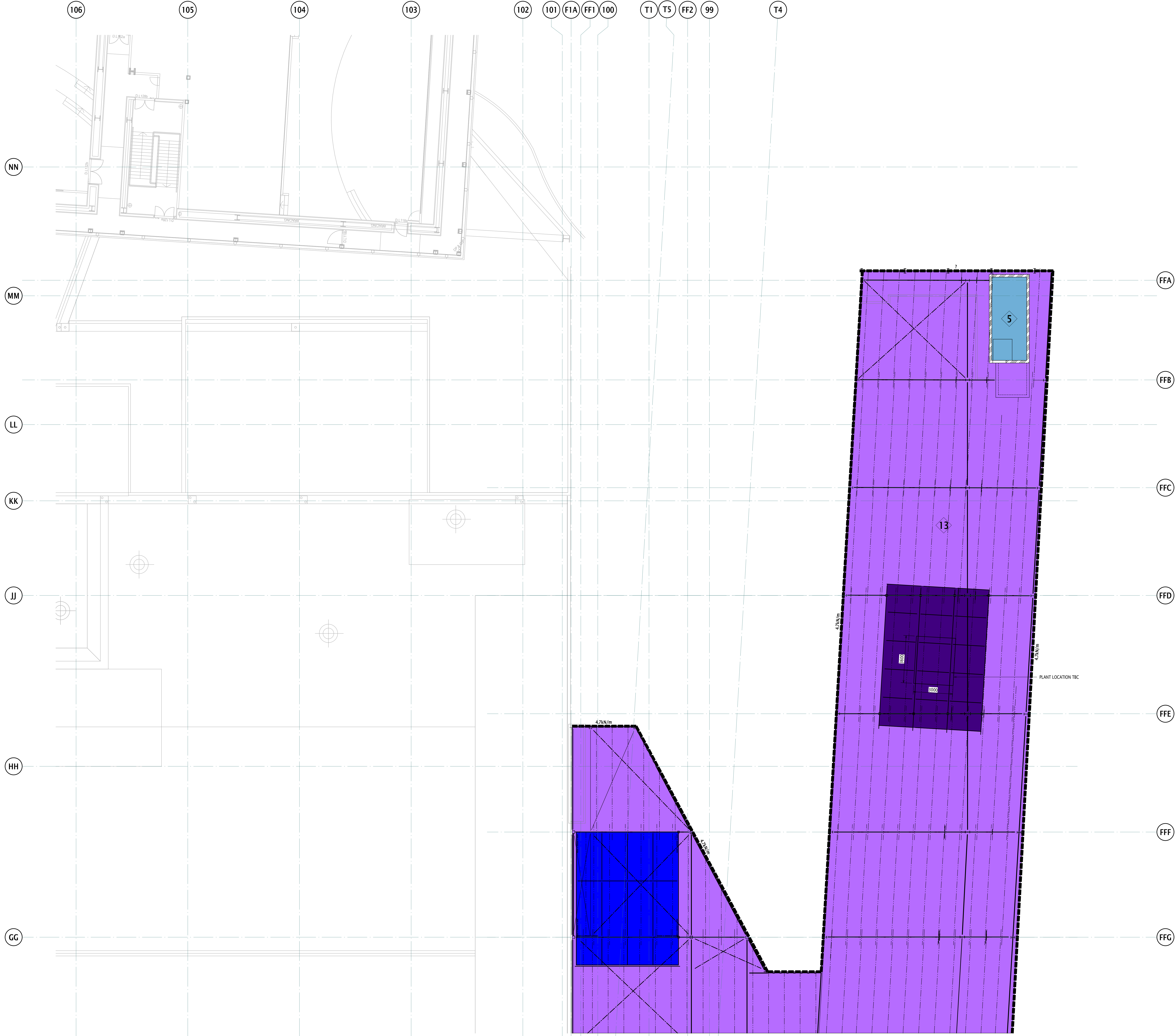
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Drawn
JWHARVEY
Designer
BSCANLAN
Design Checker

Job Number
19315M

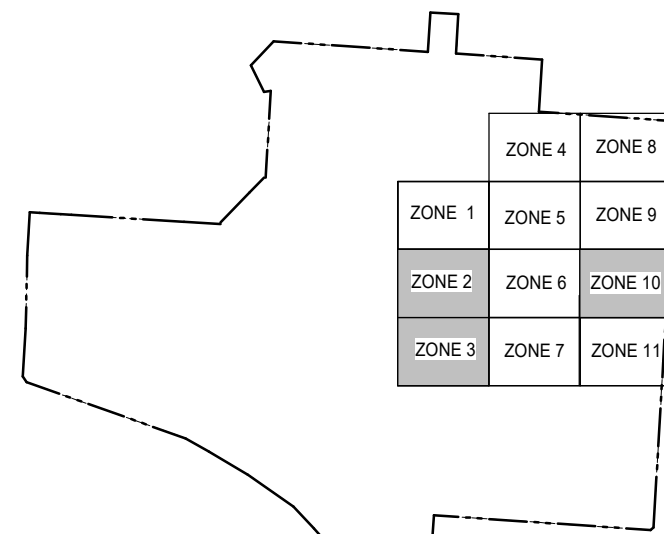
Approved
M.GREY

Drawing Number
19315-RBG-ZZ-GF-DR-ST-11002



FOR CONTINUATION REFER
TO DRAWING L2-11001

LEVEL 2 LOADING PLAN ZONE 4
SCALE 1 : 100



OVERALL KEY PLAN

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Rev	Revision Description	By	App	Date
01	PRELIMINARY ISSUE	WH	JH	16-09-22

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Client

VICINITY
LIFELINE

Project
CHADSTONE FRESH FOOD

Title
LEVEL 2
LOADING PLAN
ZONE 4

Date
July 2021
Scale at A0
1:100

Drawn
W.HARVEY
Designer
B.HOWIE
Design Checker
M.GREY

Job Number
19315M

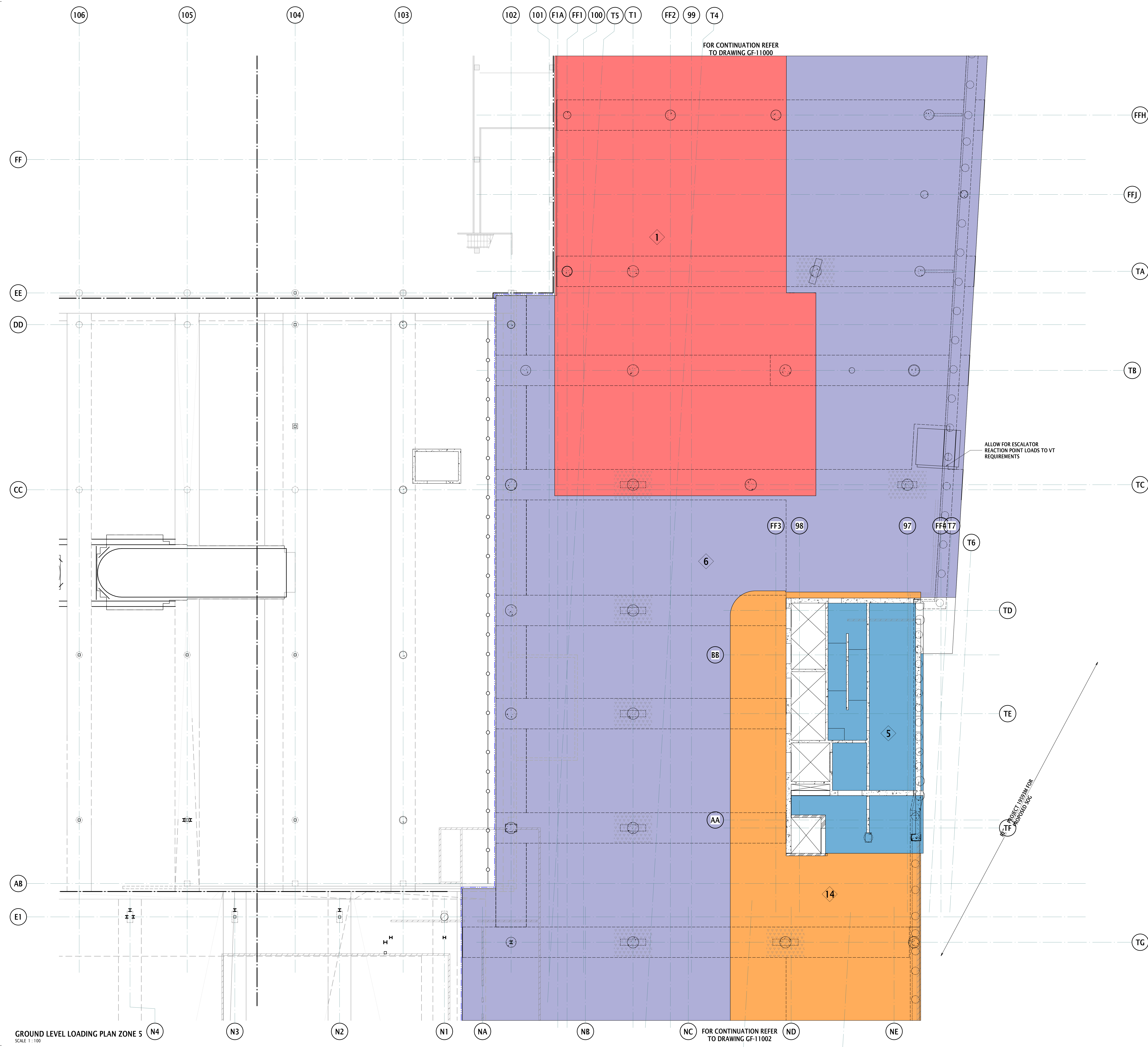
Approved
M.GREY

NOT FOR CONSTRUCTION

Drawing Number
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Revision
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Client
VICINITY
LIFELINE

Project
CHADSTONE FRESH FOOD

Title
**GROUND LEVEL
LOADING PLAN
ZONE 5**

Date
Sep 2022
Scale
1:100

Drawn
W.HARVEY
Designer
B.SCANLAN
Design Checker

Job Number
19315M

Approved
M.GREY

Drawing Number
19315-RBG-ZZ-GF-DR-ST-11001

Revision



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- 12 DENOTES: COMMUNAL TERRACE
LL: 4.0 kPa
SDL: 2.0 kPa
- 13 DENOTES: LIGHTWEIGHT ROOF
LL: 0.25 kPa
SDL: 0.4 kPa
- 14 DENOTES: BOM CORRIDOR
LL: 4.0 kPa
SDL: 1.5 kPa
- 15 DENOTES: LOADING DOCK COMPACTOR
LL: 6.0 kPa
SDL: 0.5 kPa
- 16 DENOTES: DEEP LANDSCAPE ALLOWANCE 10000 SOIL OVER 3.6sqm
LL: 16.0 kPa
SDL: 22.0 kPa
- 17 DENOTES: MEDIUM DEPTH PLANTER ALLOWANCE 5000
SOIL OVER 1.8m WIDE MAX
LL: 16.0 kPa
SDL: 14.0 kPa
- 18 DENOTES: CAR PARK ENTRY RAMP
LL: 0.5 kPa
SDL: 2.5 kPa
- 19 DENOTES: PLATFORM 1
LL: 2.5 kPa
SDL: 0.5 kPa
- 20 DENOTES: PLATFORM 2
LL: 4.5 kPa (5000/3000 PLANT)
SDL: 0.5 kPa
ELEMWHERE
- 21 DENOTES: PRECAST CORE LID
LL: 2.0 kPa
SDL: 2.0 kPa

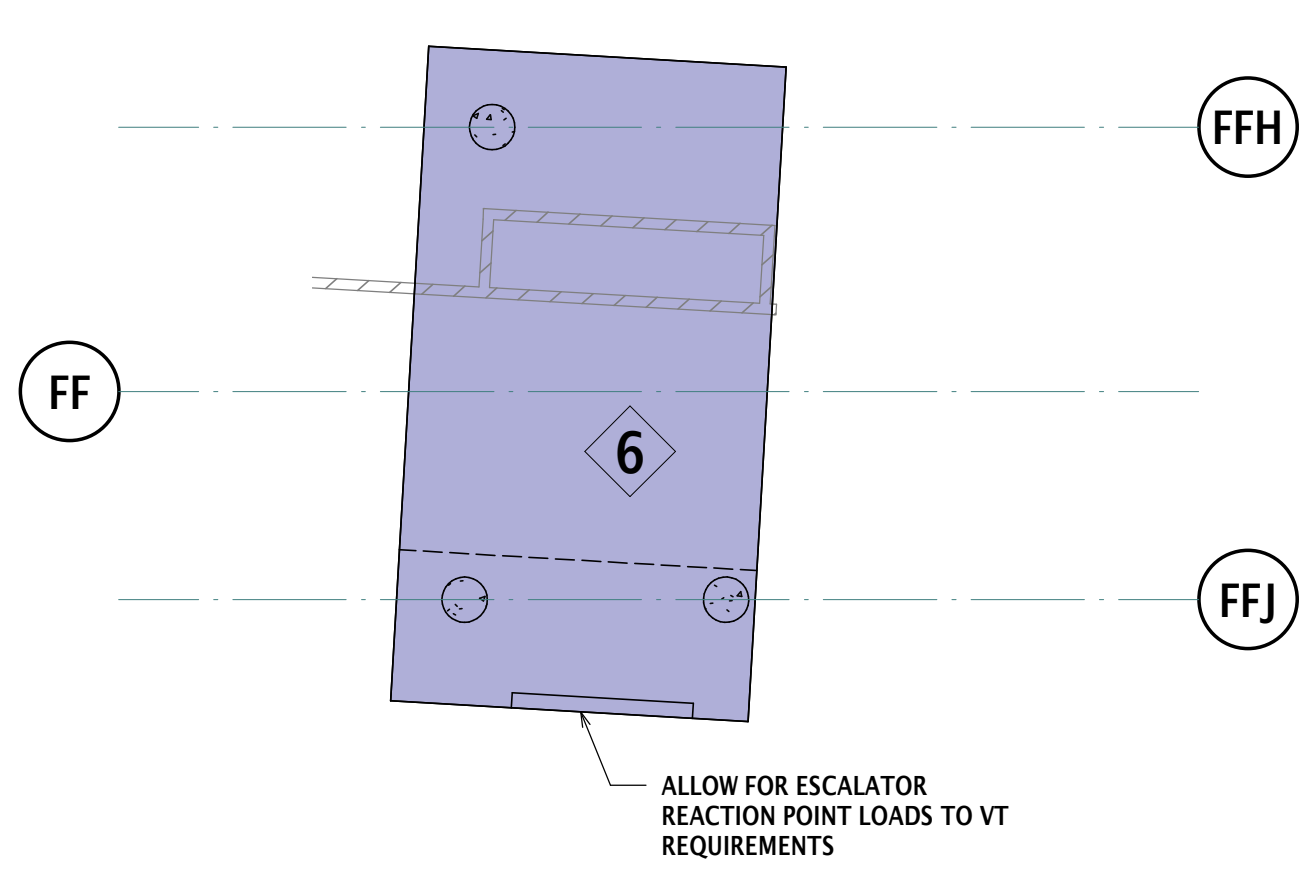
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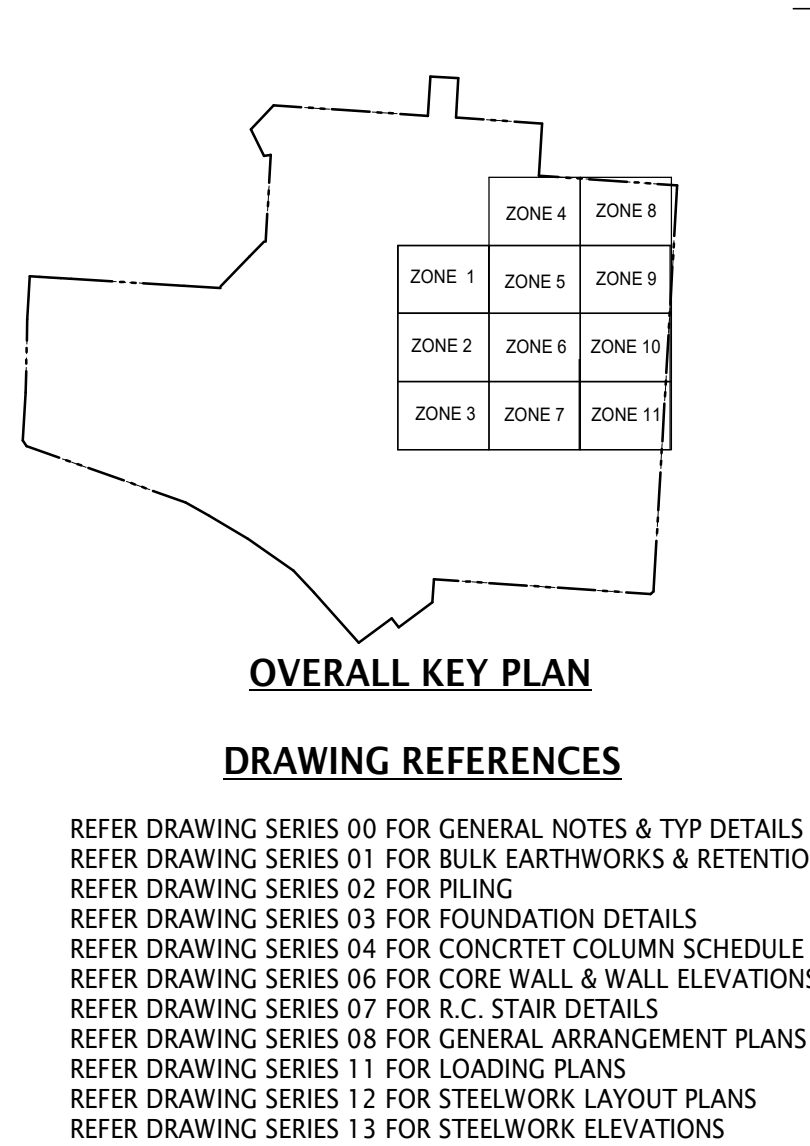
DRAWING REFERENCES

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REFER DRAWING SERIES 01 FOR BULK EARTHWORKS & RETENTION
REFER DRAWING SERIES 02 FOR PILING
REFER DRAWING SERIES 03 FOR FOUNDATION DETAILS
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REFER DRAWING SERIES 05 FOR CORE WALL & WALL ELEVATIONS
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REFER DRAWING SERIES 07 FOR R.C. STAIR DETAILS
REFER DRAWING SERIES 08 FOR GENERAL ARRANGEMENT PLANS
REFER DRAWING SERIES 11 FOR LOADING PLANS
REFER DRAWING SERIES 12 FOR STEELWORK LAYOUT PLANS
REFER DRAWING SERIES 13 FOR STEELWORK ELEVATIONS

NOTES:

- (T) DENOTES: TENSION
- (C) DENOTES: COMPRESSION
- (FG) DENOTES: LATERAL LOAD ACTING IN PLANE
- OF SLAB DUE TO DEAD LOAD EFFECTS
- (FD) DENOTES: LATERAL LOAD ACTING IN PLANE
- OF SLAB DUE TO LIVE LOAD EFFECTS
- (G) DENOTES: VERTICAL LOAD DUE TO DEAD LOAD EFFECTS
- (Q) DENOTES: VERTICAL LOAD DUE TO LIVE LOAD EFFECTS





- LOADING LEGEND:**
- 1 DENOTES: ALDI TENANCY
LL 10.0 kPa
SDL 2.5 kPa
 - 2 DENOTES: STORAGE/PLANT
LL 5.0 kPa
SDL 1.5 kPa
 - 3 DENOTES: LOADING DOCK-UPPER LEVEL
LL 5.0 kPa
SDL 0.5 kPa
 - 4 DENOTES: ALDI TENANCY WITH SECONDARY SLAB
LL 10.0 kPa
SDL 7.0 kPa
 - 5 DENOTES: FIRE STAIRS
LL 4.0 kPa
SDL 0.5 kPa
 - 6 DENOTES: RETAIL, MALLS/RETAIL TENANCIES/MULTI CATEGORY SPACE
LL 15.0 kPa
SDL 5.0 kPa
 - 7 DENOTES: LOADING DOCK-LOWER LEVEL WITH SECONDARY SLAB
LL 15.0 kPa
SDL 5.0 kPa
 - 8 DENOTES: GROUND LEVEL ROUNDABOUT & OFFICE DROP-OFF
LL 24.0 kPa
SDL 1.5 kPa
 - 9 DENOTES: INDOOR CHILDCARE/OFFICE SPACE
LL 3.0 kPa
SDL 1.5 kPa
 - 10 DENOTES: CHILDCARE OUTDOOR
LL 4.0 kPa
SDL 4.0 kPa
 - 11 DENOTES: LOADING DOCK - LOWER LEVEL
LL 15.0 kPa
SDL 0.5 kPa
 - 12 DENOTES: COMMUNAL TERRACE
LL 4.0 kPa
SDL 2.0 kPa
 - 13 DENOTES: LIGHTWEIGHT ROOF
LL 0.25 kPa
SDL 0.4 kPa
 - 14 DENOTES: BOH CORRIDOR
LL 6.0 kPa
SDL 1.5 kPa
 - 15 DENOTES: LOADING DOCK COMPACTOR
LL 6.0 kPa
SDL 0.5 kPa
 - 16 DENOTES: DEEP LANDSCAPE ALLOWANCE 10000 SOIL OVER 3.6sqm
LL Nil kPa
SDL 22.0 kPa
 - 17 DENOTES: MEDIUM DEPTH PLANTER ALLOWANCE 5000 SOIL OVER 1.8m WIDE MAX
LL Nil kPa
SDL 14.0 kPa
 - 18 DENOTES: CAR PARK ENTRY RAMP
LL 0.5 kPa
SDL 2.5 kPa
 - 19 DENOTES: PLATFORM 1
LL 2.5 kPa
SDL 0.5 kPa
 - 20 DENOTES: PLATFORM 2
LL 4.5 kPa (3000x3600 PLANT)
2.5 kPa ELSEWHERE
SDL 0.5 kPa
 - 21 DENOTES: PRECAST CORE LID
LL 2.0 kPa
SDL 2.0 kPa
- DENOTES: FACADE LOAD kN/m
- DENOTES: DIRECTION OF FORCE
- 71 kN DENOTES: POINT LOAD
- (T) DENOTES: TENSION
(C) DENOTES: COMPRESSION
(FQ) DENOTES: LATERAL LOAD ACTING IN PLANE
OF SLAB DUE TO DEAD LOAD EFFECTS
(FQ) DENOTES: LATERAL LOAD ACTING IN PLANE
OF SLAB DUE TO LIVE LOAD EFFECTS
(Q) DENOTES: VERTICAL LOAD DUE TO DEAD LOAD EFFECTS
(Q) DENOTES: VERTICAL LOAD DUE TO LIVE LOAD EFFECTS

Rev	Revision Description	By	App	Date
P1	PRELIMINARY ISSUE	CR	JH	16-09-22
1	1	1	1	1

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ACN 610 580 348

Client

VICINITY
CONCRETE

Project
CHADSTONE FRESH FOOD

Title
**LEVEL 1
LOADING PLAN
ZONE 6**

Date
Oct 2022

Scale at A3
1:100

Job Number
19315M

Drawn
W.HARVEY

Designer
B.SCANLAN

Design Checker
M.GREY

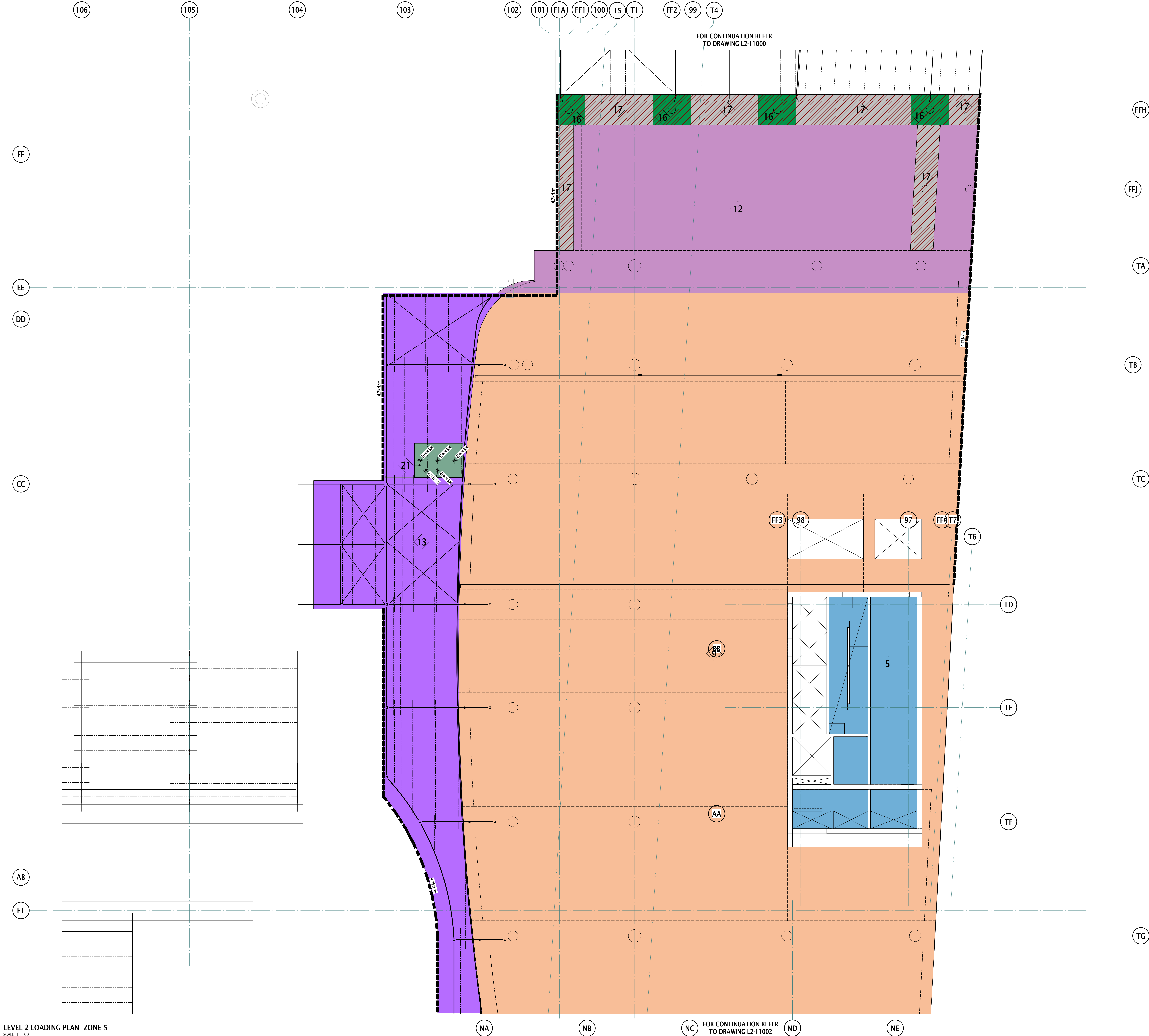
Approved
M.GREY

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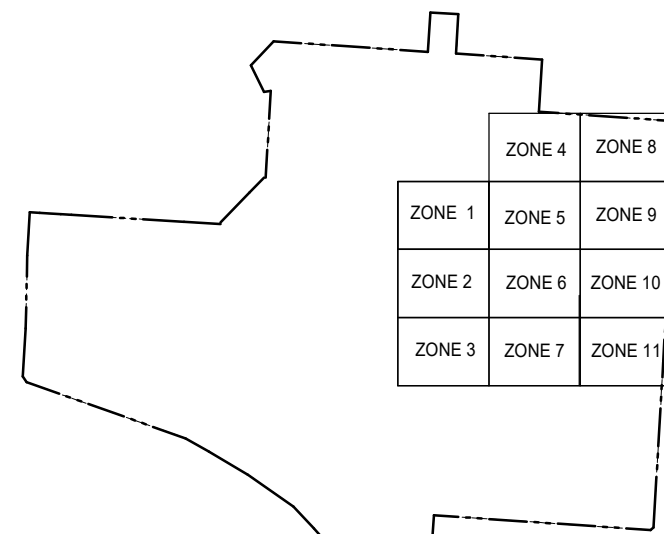
Drawing Number
19315-RBG-ZZ-L1-DR-ST-11002

Revision
P1

8/10/2022 4:58:47 PM



LEVEL 2 LOADING PLAN ZONE 5
SCALE 1:100



OVERALL KEY PLAN

DRAWING REFERENCES

REFER DRAWING SERIES 00 FOR GENERAL NOTES & TYP DETAILS
REFER DRAWING SERIES 01 FOR BULK EARTHWORKS & RETENTION
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REFER DRAWING SERIES 12 FOR STEELWORK LAYOUT PLANS
REFER DRAWING SERIES 13 FOR STEELWORK ELEVATIONS

LOADING LEGEND:

- 1 DENOTES: ALDI TENANCY
LL 10.0 kPa
SDL 2.5 kPa
- 2 DENOTES: STORAGE/PLANT
LL 5.0 kPa
SDL 1.5 kPa
- 3 DENOTES: LOADING DOCK UPPER LEVEL
LL 5.0 kPa
SDL 0.5 kPa
- 4 DENOTES: ALDI TENANCY WITH SECONDARY SLAB
LL 10.0 kPa
SDL 7.0 kPa
- 5 DENOTES: FIRE STAIRS
LL 4.0 kPa
SDL 0.5 kPa
- 6 DENOTES: RETAIL MALLS/RETAIL TENANCIES/MULTI CATEGORY SPACE
LL 5.0 kPa
SDL 2.5 kPa
- 7 DENOTES: LOADING DOCK LOWER LEVEL WITH SECONDARY SLAB
LL 15.0 kPa
SDL 5.0 kPa
- 8 DENOTES: GROUND LEVEL ROUNDABOUT & OFFICE DROP-OFF
LL 24.0 kPa
SDL 5.0 kPa
- 9 DENOTES: INDOOR CHILDCARE/OFFICE SPACE
LL 3.0 kPa
SDL 1.5 kPa
- 10 DENOTES: CHILDCARE OUTDOOR
LL 4.0 kPa
SDL 4.0 kPa
- 11 DENOTES: LOADING DOCK - LOWER LEVEL
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- 14 DENOTES: BOH CORRIDOR
LL 6.0 kPa
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- 15 DENOTES: LOADING DOCK COMPACTOR
LL 6.0 kPa
SDL 0.5 kPa
- 16 DENOTES: DEEP LANDSCAPE ALLOWANCE 1000D SOIL OVER 3.6sqm
LL NIL kPa
SDL 22.0 kPa
- 17 DENOTES: MEDIUM DEPTH PLANTER ALLOWANCE 500D
LL NIL kPa
SDL 14.0 kPa
- 18 DENOTES: CAR PARK ENTRY RAMP
LL 0.5 kPa
SDL 2.5 kPa
- 19 DENOTES: PLATFORM 1
LL 2.5 kPa
SDL 0.5 kPa
- 20 DENOTES: PLATFORM 2
LL 4.5 kPa (3000X3600 PLANT)
SDL 0.5 kPa
- 21 DENOTES: PRECAST CORE LID
LL 2.0 kPa
SDL 2.0 kPa

--- DENOTES: FACADE LOAD kN/m

→ DENOTES: DIRECTION OF FORCE

• DENOTES: POINT LOAD

(T) DENOTES: TENSION

(C) DENOTES: COMPRESSION

(FC) DENOTES: LATERAL LOAD ACTING IN PLANE

OF SLAB DUE TO DEAD LOAD EFFECTS

(FQ) DENOTES: LATERAL LOAD ACTING IN PLANE

OF SLAB DUE TO LIVE LOAD EFFECTS

(G) DENOTES: VERTICAL LOAD DUE TO DEAD LOAD EFFECTS

(Q) DENOTES: VERTICAL LOAD DUE TO LIVE LOAD EFFECTS

Rev	Revision Description	By	App	Date
1	PRELIMINARY ISSUE	CR	JH	16-09-22

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W: www.robertbird.com.au

Client
VICINITY
CENTRAL

Project
CHADSTONE FRESH FOOD

Title
**LEVEL 2
LOADING PLAN
ZONE 5**

Date
Oct 2022
Scale
Scale at A0
1:100

Drawn
WHARVEY
Designer
BSCANLAN
Design Checker
M.GREY

Job Number
19315M

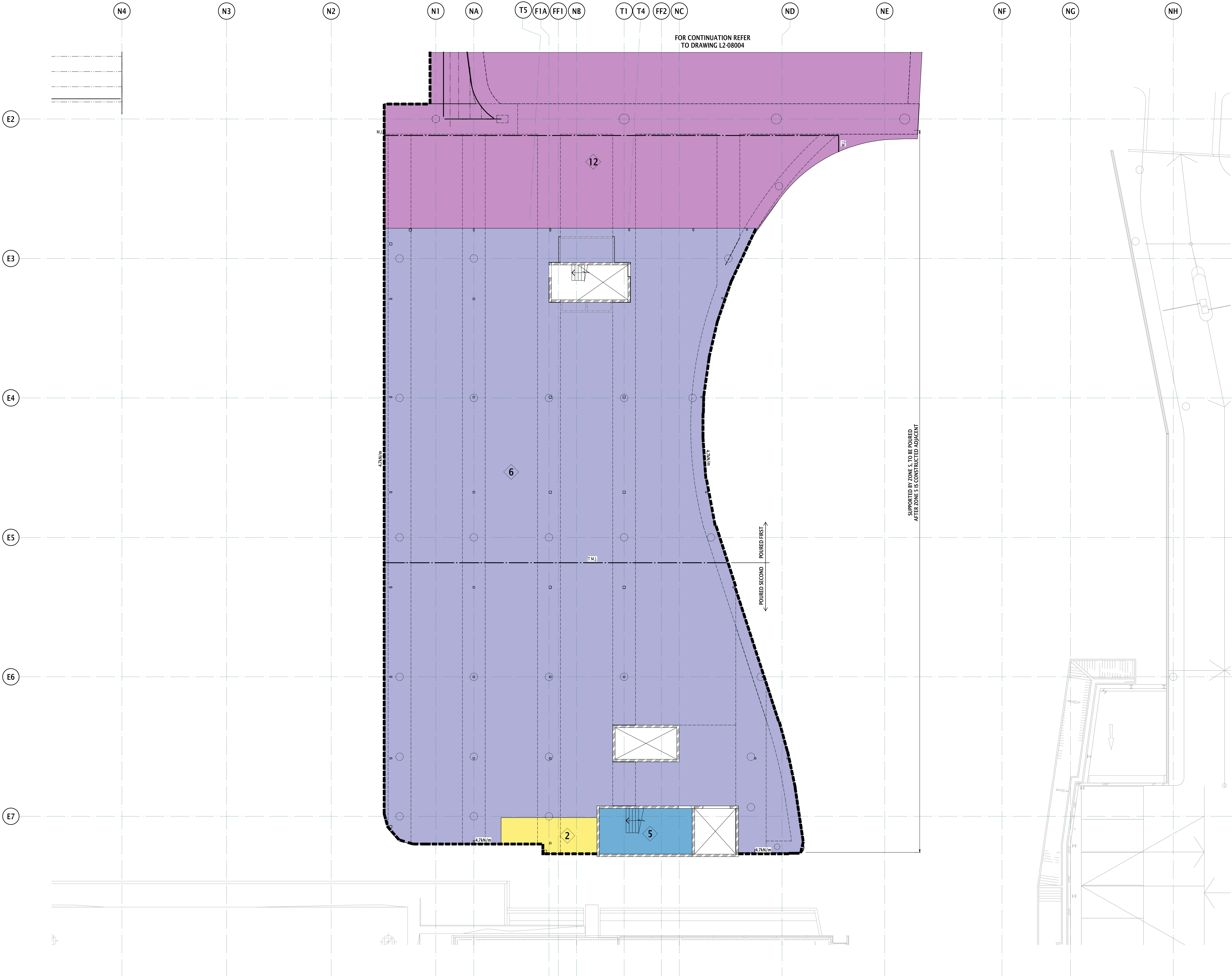
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M.GREY

Revision
NOT FOR CONSTRUCTION

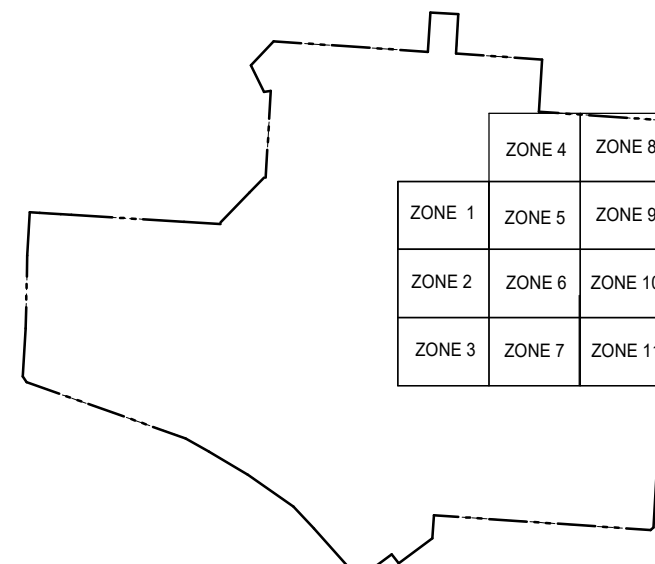
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19315-RBG-ZZ-L2-DR-ST-11001

Revision
P1

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LEVEL 2 LOADING PLAN ZONE 6
SCALE 1:100



OVERALL KEY PLAN

DRAWING REFERENCES

REFER DRAWING SERIES 00 FOR GENERAL NOTES & TYP DETAILS
REFER DRAWING SERIES 01 FOR BULK EARTHWORKS & RETENTION
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REFER DRAWING SERIES 11 FOR LOADING PLANS
REFER DRAWING SERIES 12 FOR STEELWORK LAYOUT PLANS
REFER DRAWING SERIES 13 FOR STEELWORK ELEVATIONS

LOADING LEGEND:

- 1 DENOTES: ALDI TENANCY
LL 10.0 kPa
SDL 2.5 kPa
- 2 DENOTES: STORAGE/PLANT
LL 5.0 kPa
SDL 1.5 kPa
- 3 DENOTES: LOADING DOCK-UPPER LEVEL
LL 5.0 kPa
SDL 0.5 kPa
- 4 DENOTES: ALDI TENANCY WITH SECONDARY SLAB
LL 10.0 kPa
SDL 7.0 kPa
- 5 DENOTES: FIRE STAIRS
LL 5.0 kPa
SDL 2.5 kPa
- 6 DENOTES: RETAIL MALLS/RETAIL TENANCIES/MULTI CATEGORY SPACE
LL 15.0 kPa
SDL 5.0 kPa
- 7 DENOTES: LOADING DOCK-LOWER LEVEL WITH SECONDARY SLAB
LL 15.0 kPa
SDL 5.0 kPa
- 8 DENOTES: GROUND LEVEL ROUNDABOUT & OFFICE DROP-OFF
LL 24.0 kPa
SDL 5.0 kPa
- 9 DENOTES: INDOOR CHILDCARE/OFFICE SPACE
LL 3.0 kPa
SDL 1.5 kPa
- 10 DENOTES: CHILDCARE OUTDOOR
LL 4.0 kPa
SDL 4.0 kPa
- 11 DENOTES: LOADING DOCK - LOWER LEVEL
LL 15.0 kPa
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- 12 DENOTES: COMMUNAL TERRACE
LL 4.0 kPa
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- 13 DENOTES: LIGHTWEIGHT ROOF
LL 0.25 kPa
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- 14 DENOTES: BOH CORRIDOR
LL 4.0 kPa
SDL 1.5 kPa
- 15 DENOTES: LOADING DOCK COMPACTOR
LL 6.0 kPa
SDL 0.5 kPa
- 16 DENOTES: DEEP LANDSCAPE ALLOWANCE 1000D SOIL OVER 3.6sqm
LL NIL kPa
SDL 22.0 kPa
- 17 DENOTES: MEDIUM DEPTH PLANTER ALLOWANCE 500D
SOIL OVER 1.8m WIDE MAX
LL NIL kPa
SDL 14.0 kPa
- 18 DENOTES: CAR PARK ENTRY RAMP
LL 0.5 kPa
SDL 2.5 kPa
- 19 DENOTES: PLATFORM 1
LL 2.5 kPa
SDL 0.5 kPa
- 20 DENOTES: PLATFORM 2
LL 4.5 kPa (3000X3500 PLANT)
SDL 0.5 kPa
SDL 0.5 kPa
- 21 DENOTES: PRECAST CORE LID
LL 2.0 kPa
SDL 2.0 kPa

- DENOTES: FACADE LOAD kN/m
- DENOTES: DIRECTION OF FORCE
- 71 kN DENOTES: POINT LOAD

- (T) DENOTES: TENSION
- (C) DENOTES: COMPRESSION
- (F) DENOTES: LATERAL LOAD ACTING IN PLANE
- (D) OF SLAB DUE TO DEAD LOAD EFFECTS
- (L) DENOTES: LATERAL LOAD ACTING IN PLANE

- (G) DENOTES: LATERAL LOAD DUE TO DEAD LOAD EFFECTS
- (Q) DENOTES: LATERAL LOAD DUE TO DEAD LOAD EFFECTS

1

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Engineering Consultant

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Robert Bird Group Pty Ltd Ph: (03) 8677 7666
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Melbourne VIC 3007 Email: melbourne@robertbird.com.au
Tower 4, Collins Square Web: www.robertbird.com
Level 18, 727 Collins St A/CN 010 580 348
Melbourne VIC 3000

Client

VICINITY
LIVING

Project
CHADSTONE FRESH FOOD

Title
LEVEL 2
LOADING PLAN
ZONE 6

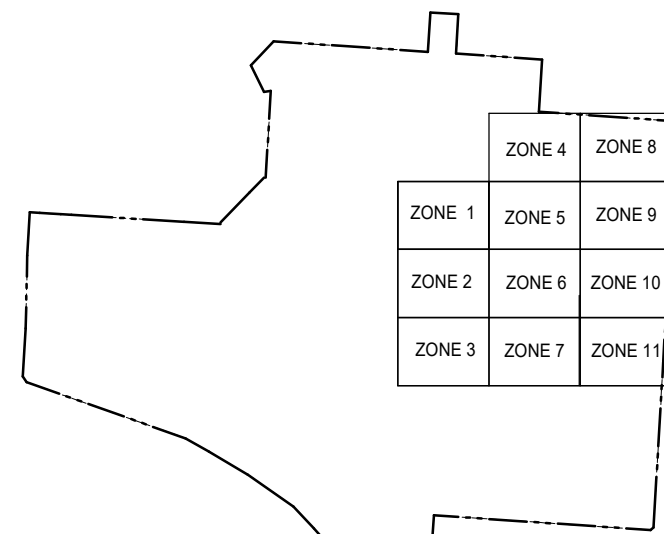
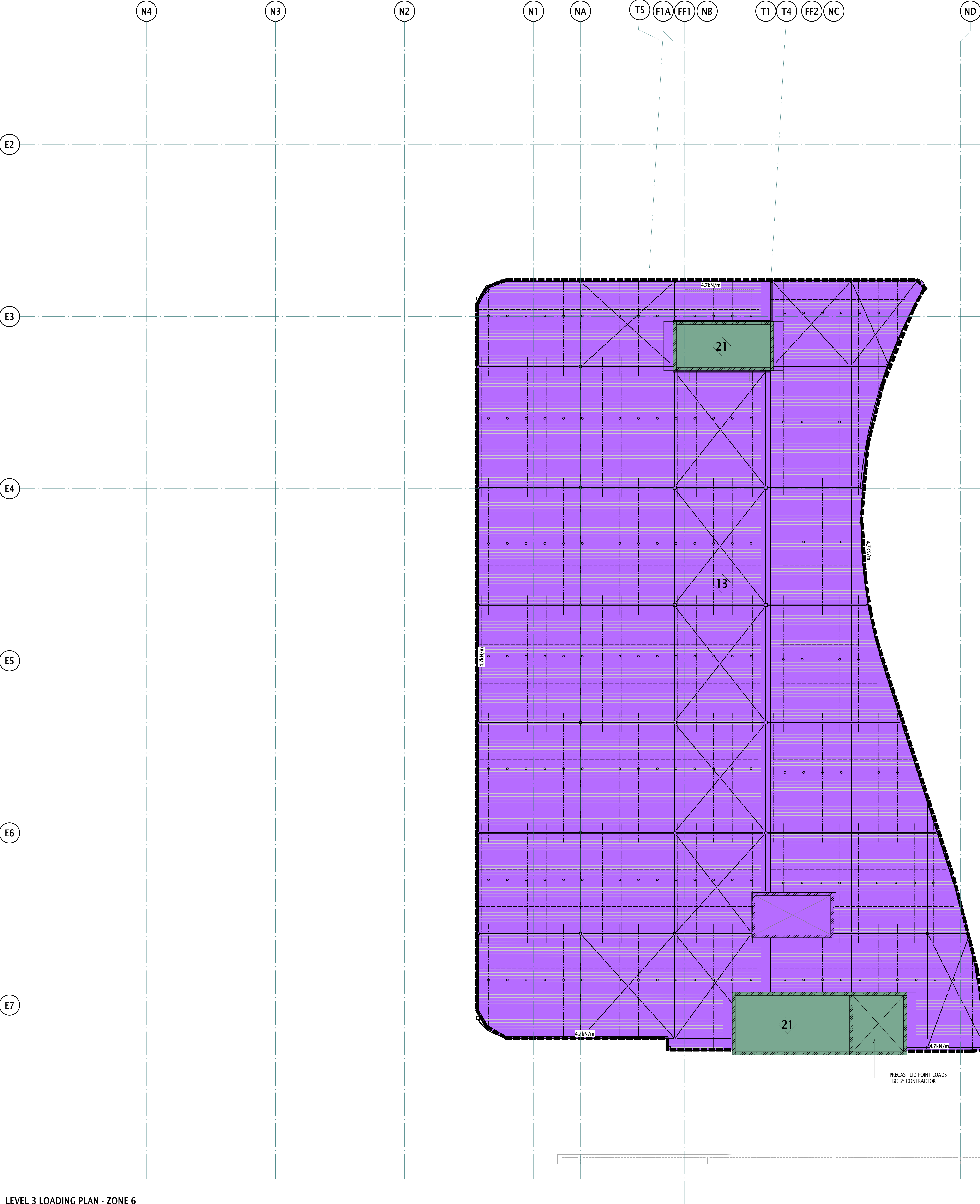
Date
Oct 2022
Scale at A3
1:100
Drawn
J.HARVEY
Designer
B.SCANLAN
Design Checker
M.GREY

Job Number
19315M
Approved
M.GREY

NOT FOR CONSTRUCTION

Drawing Number
19315-RBG-ZZ-L2-DR-ST-11002 P1

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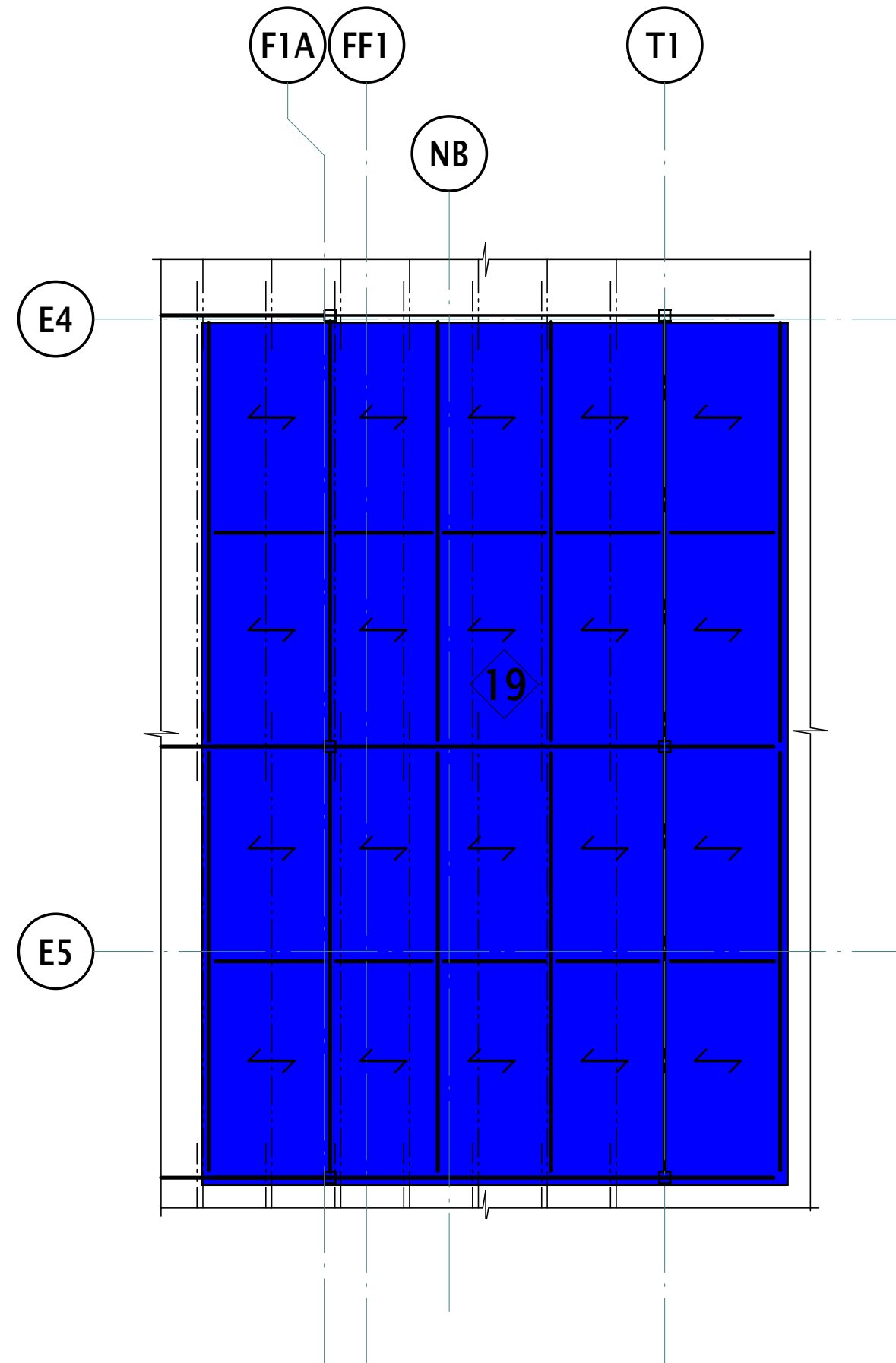
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REFER DRAWING SERIES 13 FOR STEELWORK ELEVATIONS

LOADING LEGEND:

- 1 DENOTES: ALDI TENANCY
LL 10.0 kPa
SDL 2.5 kPa
- 2 DENOTES: STORAGE/PLANT
LL 5.0 kPa
SDL 1.5 kPa
- 3 DENOTES: LOADING DOCK-UPPER LEVEL
LL 5.0 kPa
SDL 0.5 kPa
- 4 DENOTES: ALDI TENANCY WITH SECONDARY SLAB
LL 10.0 kPa
SDL 7.0 kPa
- 5 DENOTES: FIRE STAIRS
LL 4.0 kPa
SDL 0.5 kPa
- 6 DENOTES: RETAIL MALLS/RETAIL TENANCIES/MULTI CATEGORY SPACE
LL 5.0 kPa
SDL 2.5 kPa
- 7 DENOTES: LOADING DOCK-LOWER LEVEL WITH SECONDARY SLAB
LL 15.0 kPa
SDL 5.0 kPa
- 8 DENOTES: GROUND LEVEL ROUNDABOUT & OFFICE DROP-OFF
LL 24.0 kPa
SDL 5.0 kPa
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- 10 DENOTES: CHILDCARE OUTDOOR
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- 11 DENOTES: LOADING DOCK - LOWER LEVEL
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LL NIL kPa
SDL 22.0 kPa
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SOIL OVER 1.8m WIDE MAX
LL NIL kPa
SDL 14.0 kPa
- 18 DENOTES: CAR PARK ENTRY RAMP
LL 0.5 kPa
SDL 2.5 kPa
- 19 DENOTES: PLATFORM 1
LL 2.5 kPa
SDL 0.5 kPa
- 20 DENOTES: PLATFORM 2
4.5 KPA (3000X500 PLANT)
LL 2.5 kPa ELSEWHERE
SDL 0.5 kPa
- 21 DENOTES: PRECAST CORE LID
LL 2.0 kPa
SDL

- DENOTES: FACADE LOAD kN/m
- DENOTES: DIRECTION OF FORCE
- 7.5 kN DENOTES: POINT LOAD

- (T) DENOTES: TENSION
- (C) DENOTES: COMPRESSION
- (F) DENOTES: LATERAL LOAD ACTING IN PLANE
- (F) DENOTES: LATERAL LOAD ACTING IN PLANE
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- (G) DENOTES: VERTICAL LOAD DUE TO DEAD LOAD EFFECTS
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Rev	Revision Description	By	App	Date
01	PRELIMINARY ISSUE	CR	JH	16-09-22

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A/CN 010 500 348

Client

VICINITY
CENTRAL

Project
CHADSTONE FRESH FOOD

Title
LEVEL 3
LOADING PLAN
ZONE 6

Date
Oct 2022
Scale at A0
1:100

Drawn
J.HARVEY
Designer
B.SCANLAN
Design Checker

Job Number
19315M

Approved
M.GREY

NOT FOR CONSTRUCTION

Drawing Number
19315-RBG-ZZ-L3-DR-ST-11000

Revision
P1

8/10/2022 10:51 PM

LEGEND	
	SUSPENDED SLAB ON BLOCK/CONCRETE WALLS OVER POST-TENSIONED SLAB
	CONDECK SLAB ON STEEL/CONCRETE BEAMS
	CONDECK SLAB ON STEEL BEAMS OVER POST-TENSIONED SLAB
	SUSPENDED CONCRETE SLAB OVER POST-TENSIONED SLAB
	CONDECK SLAB ON BLOCK WALLS OVER SLAB ON GROUND
	2 WAY CONCRETE SLAB
	CONCRETE SLAB ON STEEL BEAMS
	TIMBER FLOOR OVER POST-TENSIONED SLAB
	CONCRETE SLAB ON GROUND
	REINFORCED CONCRETE SLAB
	HOLLOWCORE PRECAST CONCRETE SLAB
	TRUSSDEK CONCRETE SLAB
NOTE: SLAB TYPES SHOWN IDENTICATIVE ONLY	



Note indicative Only
To be confirmed on-site prior to approvals



Robert
Bird
Group

Melbourne Office

Robert Bird Group Pty Ltd
ABN 67 010 580 248 ACN 010 580 248

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F: +61 (0) 3 8677 7566